



**DEVELOPMENT PERMIT NO. DP000791**

**CITY OF NANAIMO**  
**Name of Owner(s) of Land (Permittee)**

**645 WAKESIAH AVENUE**  
**Civic Address**

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all building structures and other developments thereon:

Legal Description:

**LOT A, SECTION 1, NANAIMO DISTRICT, COLLIERY DAM PARK, PLAN 15450 EXCEPT PLAN VIP73484 (ROAD)**

**PID No. 004-132-149**


3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

**Schedule A Location Plan**  
**Schedule B Site Plan**  
**Schedule C Landscape Plan**  
**Schedule D Landscape Rendering of Landscape Plan**  
**Schedule E Tree Management Plan**  
**Schedule F Reservoir and Utility Building Elevations**  
**Schedule G Reservoir and Utility Building Elevations**  
**Schedule H Utility Building Elevations and Reservoir Section**

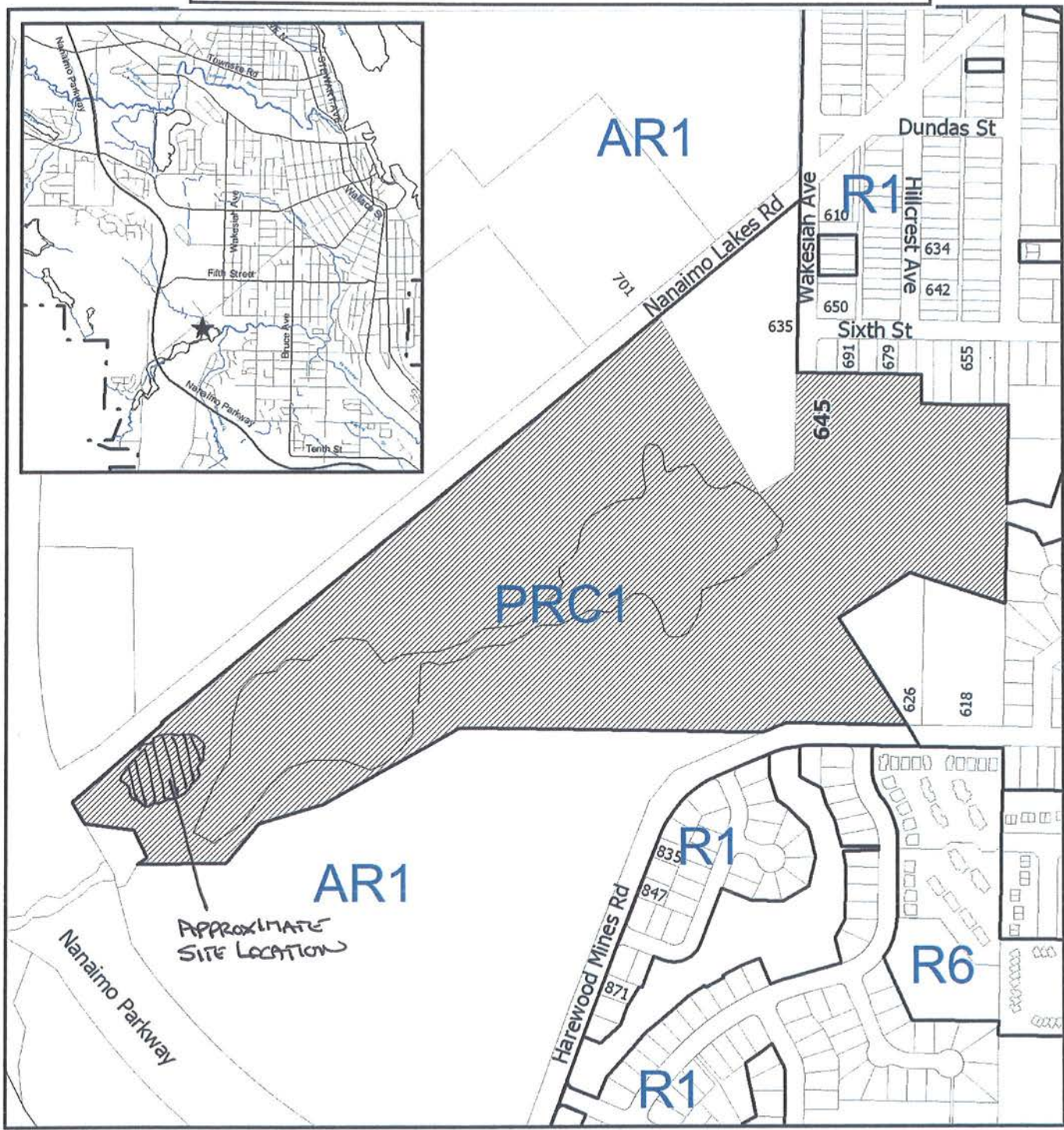
- a) If the applicant does not substantially commence the development permitted by this permit within two years of the date of this permit, the permit shall lapse.
- 4. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.

REVIEWED AND APPROVED ON

Sept 12, 2012  
Date

  
E.C. Swabey  
General Manager  
**Community Safety & Development**  
Pursuant to Section 154 (1)(b) of the Community Charter

*Location Plan*  
*Site Plan*  
*Landscape Plan*  
*Landscape Rendering of Landscape Plan*  
*Tree Management Plan*  
*Reservoir and Utility Building Elevations*  
*Reservoir and Utility Building Elevations*  
*Utility Building Elevations and Reservoir Section*  
*Landscape Rendering of Landscape Plan/lb*  
*Prospero attachment: DP000791*



DEVELOPMENT PERMIT NO. DP000791

**LOCATION PLAN**

 **Subject Property**



Civic: 645 Wakesiah Avenue  
 Lot A, Section 1, Nanaimo District,  
 Plan 15450, Except part in Plan VIP73484

This is Schedule A referred to in the Development Permit.

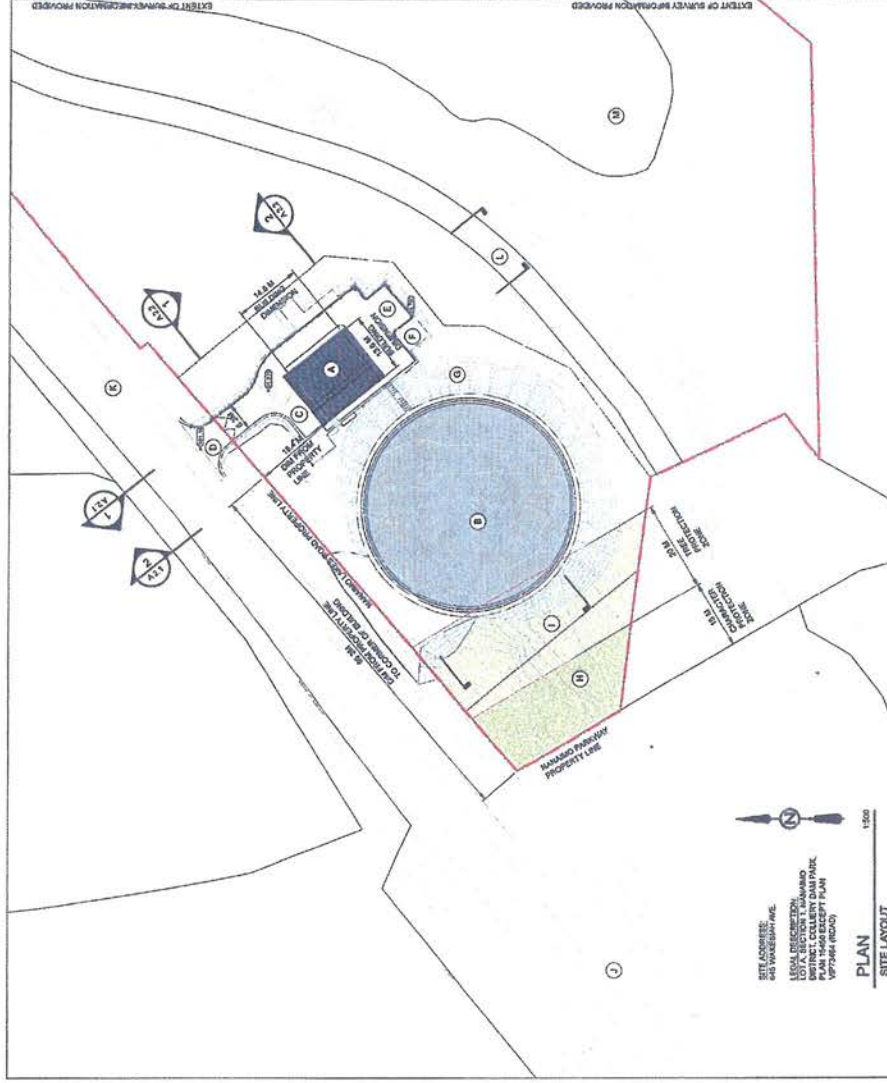
  
 General Manager  
 Community Safety & Development

Sept 17, 2012  
 Date

Development Permit No. DP000791  
645 Wakelash Avenue

Schedule B  
Site Plan

This Drawing is for the Use of the City and the User and is not to be used for any other purpose without the written consent of the City of Nanaimo.



**NOTES:**

- DRAWING IS BASED ON SURVEY DRAWING ACAD-2002-07 ONSITE\_D114M2012.DWG. THE SURVEY WAS CONDUCTED BY KOBERS CONSULTANTS INC. THE LOCATION OF FIRE SUPPRESSION SYSTEMS BY OTHERS.
- THE LOCATION OF THE RESERVOIR IS SUBJECT TO THE APPROVAL OF THE CITY OF NANAIMO.

**LEGEND**

- A. PROPOSED ENERGY RECOVERY BUILDING
- B. PROPOSED DRIVEWAY
- C. ASPHALT DRIVEWAY
- D. SITE ENTRANCE
- E. PARKING SPALLS (O3)
- F. DRIVEWAY AREA
- G. GREEN TREE LANDSCAPE PLAN FOR DETAILS
- H. CHARACTER PROTECTION ZONE
- I. TREE PROTECTION ZONE
- J. NANAIMO PARKWAY OVERPASS
- K. NANAIMO PARKWAY ROAD
- L. WALKING TRAIL
- M. EXISTING OPEN RESERVOIR
- N. PROPOSED FENCE LINE
- O. PROPERTY LINE
- P. REGULATORY SETBACK
- Q. 15M TREE PROTECTION ZONE
- R. 20M TREE PROTECTION ZONE
- S. ASPHALT AREA

**DEVELOPMENT DATA**

ADDRESS: 645 WAKELASH AVENUE  
ZONING: P2-C-1  
TOTAL LOT AREA: 246,200 sqm (61,311 acres)  
MAX ALLOWABLE LOT COVERAGE: 20%  
BUILDING HEIGHT: 17M 490mm  
RESERVOIR HEIGHT: 14765 mm (5.17M) @ 50.88%  
FOOTPRINT: GRADE  
SITE CLEARING: 1600 sqm  
AREA: 1600 sqm  
REGULATORY SETBACK: FRONT, SIDE REAR: ALL 0 M  
REGULATORY SETBACKS: 15M CHARACTER PROTECTION ZONE  
20M TREE PROTECTION ZONE  
15M FROM TOP OF BANK  
RESERVOIR IS: 27M FROM TOP OF BANK  
SETBACKS: 27M FROM TOP OF BANK  
SETBACKS: 27M FROM TOP OF BANK  
The data is provided for information purposes only. Although Woodstaff Architecture Inc. makes no claim of the accuracy or completeness and makes no representation or warranty as to the accuracy or completeness of the information provided, it is not responsible for any errors or omissions. The City of Nanaimo reserves the right to require the applicant to provide additional information or to require the applicant to provide additional information to the City of Nanaimo.

(1) Exact location of top of bank currently unavailable.  
(2) Boundary to be confirmed by City of Nanaimo.

		<b>RESERVOIR No.1 AND ENERGY RECOVERY FACILITY</b>	
PROJECT No. A-00 CIVIL		DEVELOPMENT PERMIT APPLICATION SITE LAYOUT PLAN	
SCALE: 1:500 J. POWER M. WOODCRAFT		DRAWING NUMBER: A-0.0 REV. NO.: B SHEET: 1 of 4	
<b>Mathew KOBERS ARCHITECTURE</b> This is Schedule B referred to in the Development Permit.		REVISIONS	
VERRY SPILLS DATE: 2012-09-12 BY: J. POWER		REVISIONS	
DATE: 2012-09-12 BY: J. POWER		SUBJECT	
DATE: 2012-09-12 BY: J. POWER		SUBJECT	
DATE: 2012-09-12 BY: J. POWER		SUBJECT	

General Manager  
Community Safety & Development  
Date: Sept 12, 2012

**Schedule C  
Landscape Plan**

Development Permit No. DP000791  
645 Wakesiah Avenue

RESERVOIR NO. 1 &  
ENERGY RECOVERY  
FACILITY

DATE: 06/20/12  
DRAWN BY: JG  
CHECKED BY: JG  
NOTED BY: JG

**LANDSCAPE  
PLAN**

204

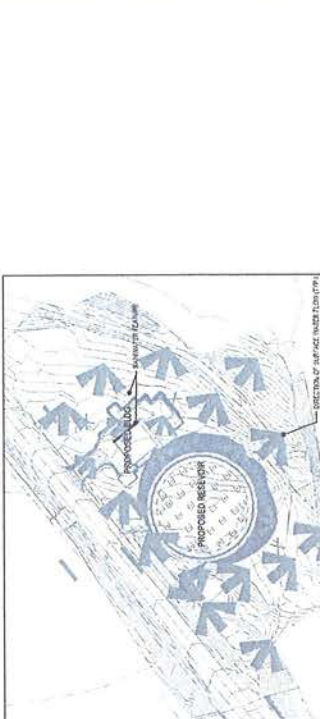


ISSUE & REVISIONS

No.	Date	Description
1	06/20/12	ISSUE FOR PERMIT REVIEW
2	06/20/12	FOR TRANSMISSION

**NOTES**

- GENERAL NOTES:
  1. SUBMIT REPRESENTATIVE SAMPLES OF GROUNDWATER FOR ANALYSIS ON THIS PROJECT TO AN INDEPENDENT LABORATORY. PROVIDE TEST RESULTS TO LANDSCAPE ARCHITECT.
  2. PROVIDE PHYSICAL PROPERTIES, A LIST OF PLANTS TO BE USED, AND A LIST OF PLANTS TO BE AVOIDED.
  3. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO HUMANS AND DOMESTIC ANIMALS.
  4. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO BIRDS.
  5. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO BEES.
  6. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO BUTTERFLIES.
  7. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO FISH.
  8. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO AMPHIBIANS.
  9. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO REPTILES.
  10. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO MAMMALS.
  11. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO INSECTS.
  12. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO MICROBES.
  13. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO FUNGI.
  14. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO PLANTS.
  15. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALGAE.
  16. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO BACTERIA.
  17. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO VIRUSES.
  18. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO PARASITES.
  19. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO PROTOZOANS.
  20. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO SPOROZOANS.
  21. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO METAZOANS.
  22. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO EUKARYOTES.
  23. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL LIFE FORMS.
  24. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL ORGANISMS.
  25. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL SPECIES.
  26. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL GENUS.
  27. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL FAMILY.
  28. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL ORDER.
  29. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL CLASS.
  30. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL PHYLUM.
  31. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL KINGDOM.
  32. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL LIFE.
  33. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL MATTER.
  34. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL ENERGY.
  35. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL INFORMATION.
  36. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL REALITY.
  37. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL POSSIBILITIES.
  38. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL FUTURE.
  39. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL PAST.
  40. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL PRESENT.
  41. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL TIME.
  42. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL SPACE.
  43. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL MATTER AND ENERGY.
  44. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL INFORMATION AND MATTER.
  45. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL REALITY AND INFORMATION.
  46. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL POSSIBILITIES AND REALITY.
  47. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL FUTURE AND POSSIBILITIES.
  48. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL PAST AND FUTURE.
  49. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL PRESENT AND PAST.
  50. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL TIME AND SPACE.
  51. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL MATTER AND ENERGY AND INFORMATION.
  52. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL REALITY AND INFORMATION AND MATTER.
  53. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL POSSIBILITIES AND REALITY AND INFORMATION.
  54. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL FUTURE AND POSSIBILITIES AND REALITY.
  55. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL PAST AND FUTURE AND POSSIBILITIES.
  56. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL PRESENT AND PAST AND FUTURE.
  57. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL TIME AND SPACE AND MATTER AND ENERGY.
  58. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL MATTER AND ENERGY AND INFORMATION AND REALITY.
  59. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL INFORMATION AND MATTER AND REALITY AND POSSIBILITIES.
  60. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL REALITY AND INFORMATION AND MATTER AND FUTURE.
  61. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL POSSIBILITIES AND REALITY AND INFORMATION AND PAST.
  62. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL FUTURE AND POSSIBILITIES AND REALITY AND PRESENT.
  63. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL PAST AND FUTURE AND POSSIBILITIES AND PRESENT.
  64. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL PRESENT AND PAST AND FUTURE AND POSSIBILITIES.
  65. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL TIME AND SPACE AND MATTER AND ENERGY AND INFORMATION AND REALITY.
  66. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL MATTER AND ENERGY AND INFORMATION AND REALITY AND POSSIBILITIES.
  67. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL INFORMATION AND MATTER AND REALITY AND POSSIBILITIES AND FUTURE.
  68. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL REALITY AND INFORMATION AND MATTER AND PAST.
  69. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL POSSIBILITIES AND REALITY AND INFORMATION AND PRESENT.
  70. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL FUTURE AND POSSIBILITIES AND REALITY AND PRESENT AND PAST.
  71. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL PAST AND FUTURE AND POSSIBILITIES AND PRESENT AND TIME.
  72. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL PRESENT AND PAST AND FUTURE AND POSSIBILITIES AND SPACE.
  73. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL TIME AND SPACE AND MATTER AND ENERGY AND INFORMATION AND REALITY AND POSSIBILITIES.
  74. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL MATTER AND ENERGY AND INFORMATION AND REALITY AND POSSIBILITIES AND FUTURE.
  75. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL INFORMATION AND MATTER AND REALITY AND POSSIBILITIES AND FUTURE AND PAST.
  76. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL REALITY AND INFORMATION AND MATTER AND PAST AND FUTURE.
  77. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL POSSIBILITIES AND REALITY AND INFORMATION AND PRESENT AND PAST AND FUTURE.
  78. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL FUTURE AND POSSIBILITIES AND REALITY AND PRESENT AND PAST AND TIME.
  79. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL PAST AND FUTURE AND POSSIBILITIES AND PRESENT AND TIME AND SPACE.
  80. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL PRESENT AND PAST AND FUTURE AND POSSIBILITIES AND SPACE AND MATTER AND ENERGY.
  81. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL TIME AND SPACE AND MATTER AND ENERGY AND INFORMATION AND REALITY AND POSSIBILITIES AND FUTURE.
  82. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL MATTER AND ENERGY AND INFORMATION AND REALITY AND POSSIBILITIES AND FUTURE AND PAST.
  83. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL INFORMATION AND MATTER AND REALITY AND POSSIBILITIES AND FUTURE AND PAST AND FUTURE.
  84. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL REALITY AND INFORMATION AND MATTER AND PAST AND FUTURE AND POSSIBILITIES.
  85. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL POSSIBILITIES AND REALITY AND INFORMATION AND PRESENT AND PAST AND FUTURE AND TIME.
  86. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL FUTURE AND POSSIBILITIES AND REALITY AND PRESENT AND PAST AND TIME AND SPACE.
  87. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL PAST AND FUTURE AND POSSIBILITIES AND PRESENT AND TIME AND SPACE AND MATTER AND ENERGY.
  88. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL PRESENT AND PAST AND FUTURE AND POSSIBILITIES AND SPACE AND MATTER AND ENERGY AND INFORMATION.
  89. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL TIME AND SPACE AND MATTER AND ENERGY AND INFORMATION AND REALITY AND POSSIBILITIES AND FUTURE AND PAST.
  90. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL MATTER AND ENERGY AND INFORMATION AND REALITY AND POSSIBILITIES AND FUTURE AND PAST AND FUTURE.
  91. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL INFORMATION AND MATTER AND REALITY AND POSSIBILITIES AND FUTURE AND PAST AND FUTURE AND PAST.
  92. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL REALITY AND INFORMATION AND MATTER AND PAST AND FUTURE AND POSSIBILITIES AND FUTURE.
  93. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL POSSIBILITIES AND REALITY AND INFORMATION AND PRESENT AND PAST AND FUTURE AND TIME AND SPACE.
  94. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL FUTURE AND POSSIBILITIES AND REALITY AND PRESENT AND PAST AND TIME AND SPACE AND MATTER AND ENERGY.
  95. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL PAST AND FUTURE AND POSSIBILITIES AND PRESENT AND TIME AND SPACE AND MATTER AND ENERGY AND INFORMATION.
  96. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL PRESENT AND PAST AND FUTURE AND POSSIBILITIES AND SPACE AND MATTER AND ENERGY AND INFORMATION AND REALITY.
  97. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL TIME AND SPACE AND MATTER AND ENERGY AND INFORMATION AND REALITY AND POSSIBILITIES AND FUTURE AND PAST AND FUTURE.
  98. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL MATTER AND ENERGY AND INFORMATION AND REALITY AND POSSIBILITIES AND FUTURE AND PAST AND FUTURE AND PAST.
  99. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL INFORMATION AND MATTER AND REALITY AND POSSIBILITIES AND FUTURE AND PAST AND FUTURE AND PAST AND FUTURE.
  100. AVOID PLANTS AND MATERIALS THAT ARE TOXIC TO ALL REALITY AND INFORMATION AND MATTER AND PAST AND FUTURE AND POSSIBILITIES AND FUTURE AND PAST AND FUTURE.

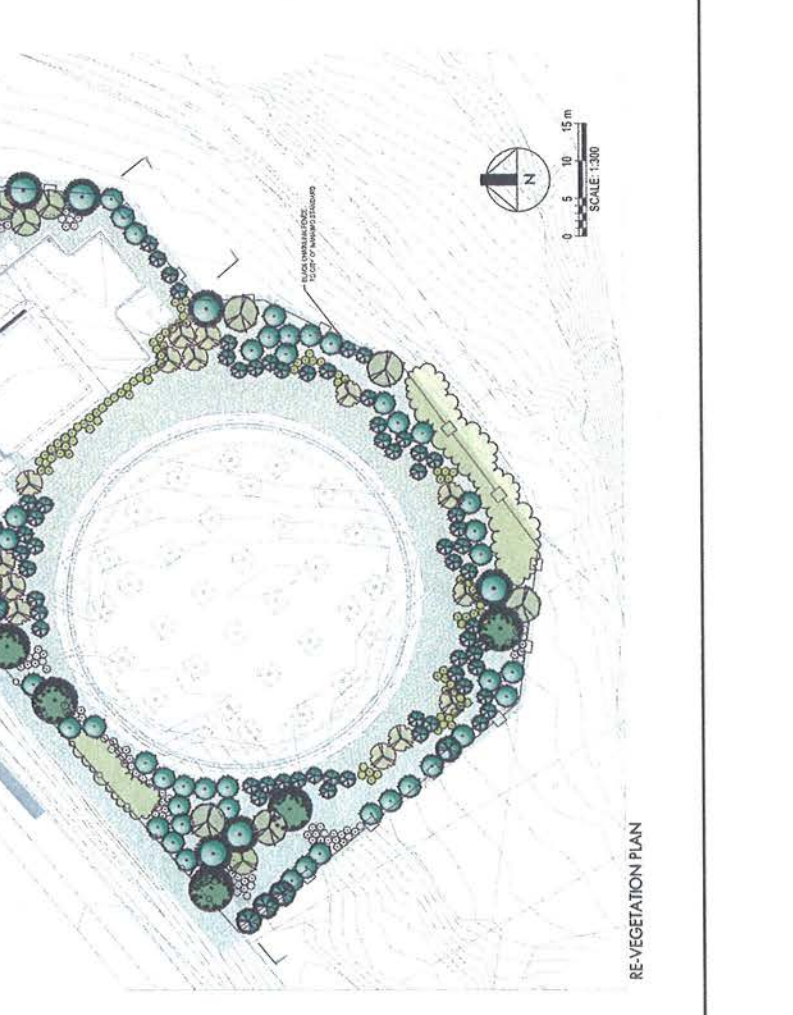


This is Schedule C referred to in the Development Permit.

General Manager  
Community Safety & Development  
Date: Sept 13, 2012

**PLANT LIST**

SYMBOL	SIZE	BOTANICAL NAME	COMMON NAME	CODE	QTY	SIZE
(Symbol)	22	Acer canadense	Red Maple	4000	1	4000
(Symbol)	5	Acer saccharinum	Black Maple	4000	1	4000
(Symbol)	8	Comus rugelii	Staghorn Sumac	4000	1	4000
(Symbol)	4	Rhus typhina	Cockspur Hawthorn	4000	1	4000
(Symbol)	10	Fragaria virginiana	Wild Strawberry	4000	1	4000
(Symbol)	16	Prunella serotina	Blackberry	4000	1	4000
(Symbol)	8	Thalictrum flavum	Black Meadow Rue	4000	1	4000
(Symbol)	7	Thalictrum flavum	Black Meadow Rue	4000	1	4000
(Symbol)	62	Quercus macrocarpa	White Oak	4000	1	4000
(Symbol)	107	Quercus macrocarpa	White Oak	4000	1	4000
(Symbol)	101	Aster multiflorus	Spotted Aster	4000	1	4000
(Symbol)	81	Asplenium platyneuron	Wetland Spotted Fern	4000	1	4000
(Symbol)	82	Asplenium platyneuron	Wetland Spotted Fern	4000	1	4000



RE-VEGETATION PLAN

Development Permit No. DP000791  
645 Wakesiah Avenue

**Schedule D  
Landscape Rendering of Landscape Plan**

RESERVOIR NO. 1 &  
ENERGY RECOVERY  
FACILITY

LANDSCAPE  
ELEVATIONS

Soil

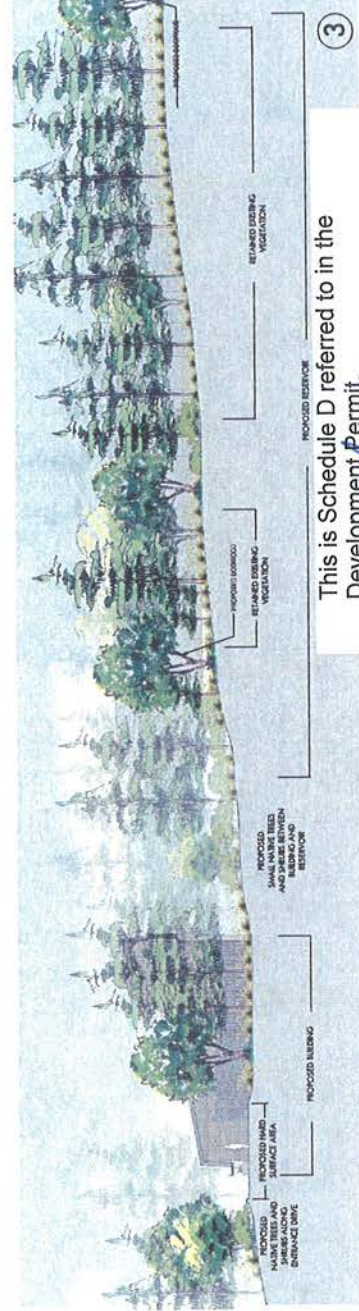
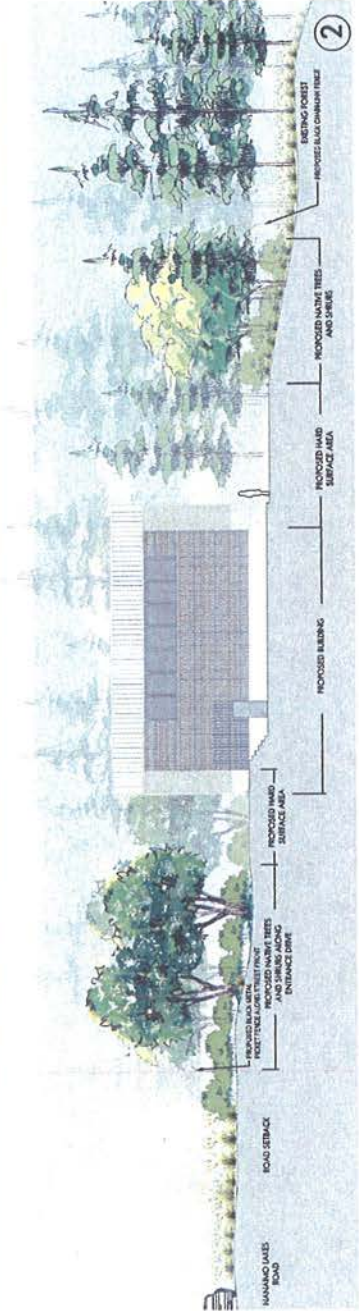
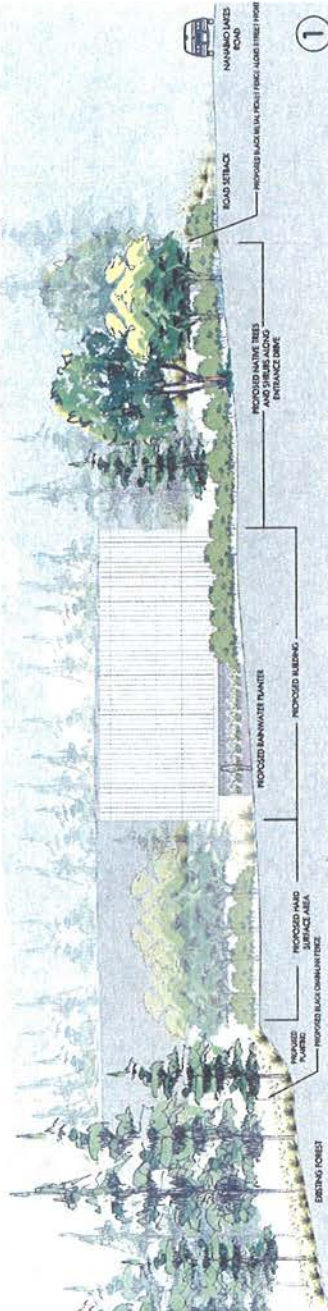
1. 158512 DESIGN FOR PERMIT REVIEW

Revisions & Revisions

No.	Date	Drawn
1	158512	DESIGN FOR PERMIT REVIEW
2	158512	FOR SUBMITTER



Project: CDR12  
Date: JUNE 2012  
Drawn: JS  
Checked: JG  
Scale: NOTED  
Sheet: L-30

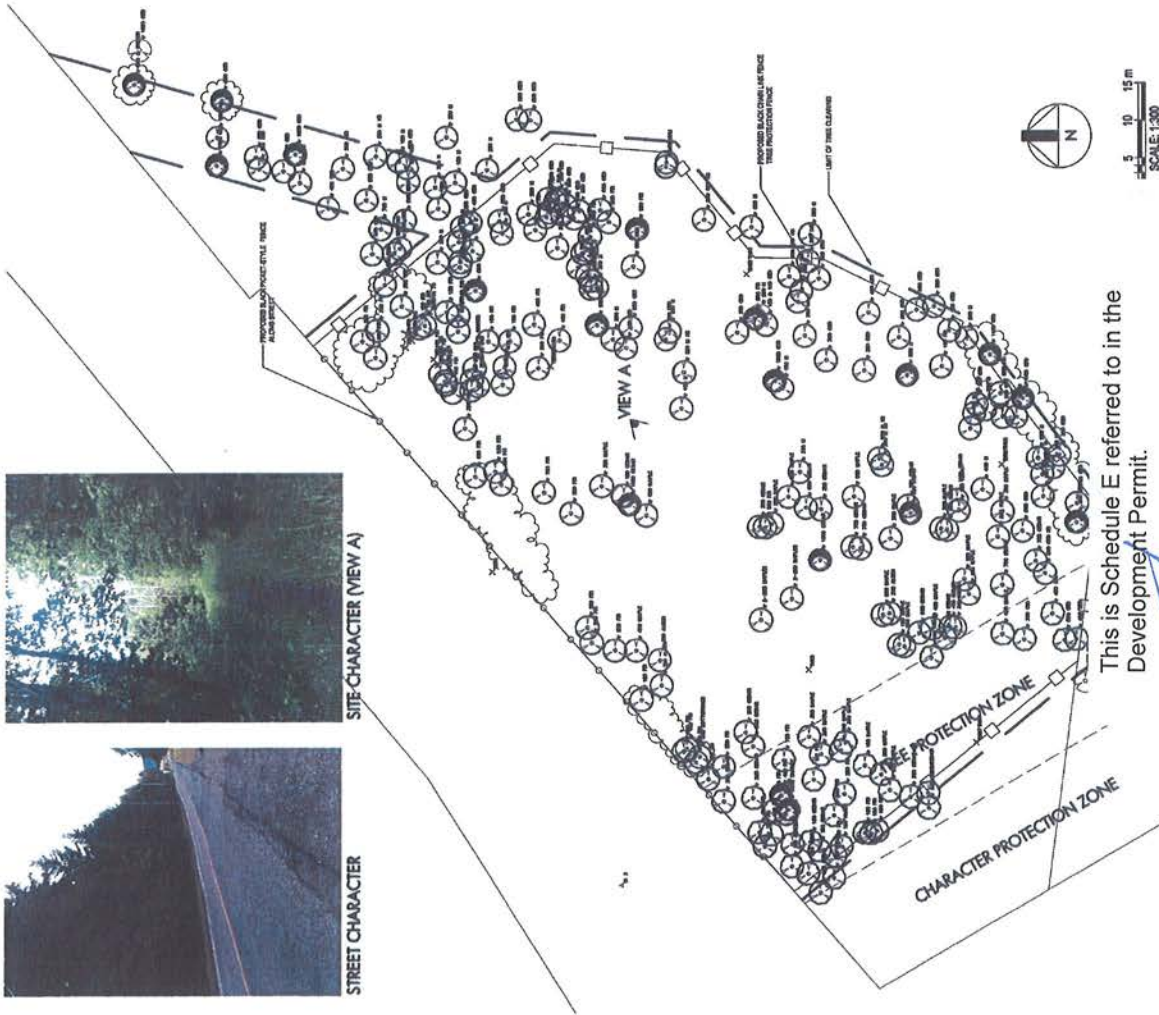


This is Schedule D referred to in the Development Permit.

General Manager  
Community Safety & Development  
Sept 12, 2012  
Date

Development Permit No. DP000791  
645 Wakeshah Avenue

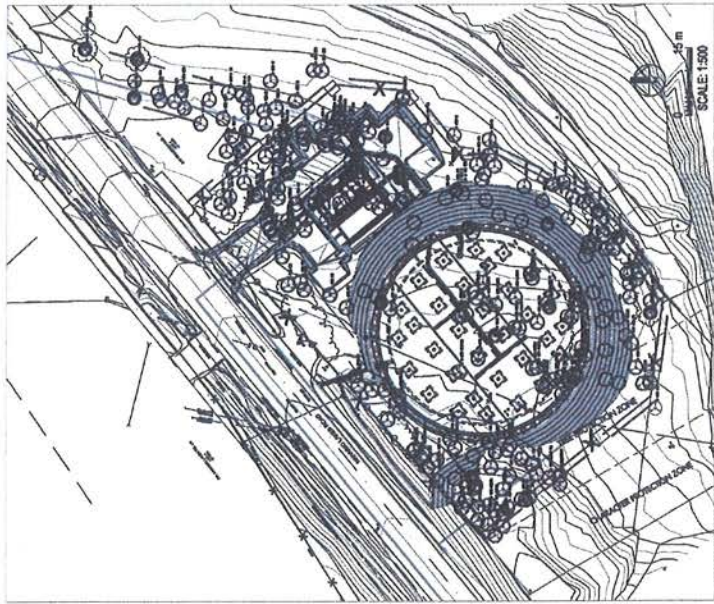
# Schedule E Tree Management Plan



This is Schedule E referred to in the Development Permit.

General Manager  
Community Safety & Development

*Sept 12, 2012*  
Date



EXISTING TREE INVENTORY - (NOTE: ONLY TREES OVER 15 cm DBH WERE SURVEYED)

TREES	TOTAL QUANTITY	RECOMMENDED
SMALL TREES (DBH 15-40cm)	10	0
MEDIUM TREES (DBH 41-75cm)	30	0
LARGE TREES (DBH 76-100cm)	100	10

EXISTING TREES - SURVEY SYMBOLS

- SMALL TREES (DBH 15-40cm)
- MEDIUM TREES (DBH 41-75cm)
- LARGE TREES (DBH 76-100cm)

- RECOMMENDED REPLACEMENT SPECIES - REFER TO LANDSCAPE PLAN FOR QUANTITIES AND LOCATIONS
- CONIFER TREES
  - DECIDUOUS TREES
  - SMALL TREES
  - MEDIUM TREES
  - LARGE TREES

- NOTES
- PROTECT ALL EXISTING TREES ON SITE. PROTECT EXISTING TREES ON PLANT PROTECTION ZONES INDICATED ON LANDSCAPE PLAN. AS MUCH AS POSSIBLE, MAINTAIN EXISTING TREES AND REMOVE ONLY THOSE THAT ARE DEAD, DISEASED, OR DAMAGED BY THE DEVELOPMENT. REMOVE TREES IN PROTECTION ZONES AS A PART OF THE DEVELOPMENT. REMOVE TREES IN PROTECTION ZONES AS A PART OF THE DEVELOPMENT. REMOVE TREES IN PROTECTION ZONES AS A PART OF THE DEVELOPMENT.
  - PROTECT EXISTING TREES ON SITE. PROTECT EXISTING TREES ON PLANT PROTECTION ZONES INDICATED ON LANDSCAPE PLAN. AS MUCH AS POSSIBLE, MAINTAIN EXISTING TREES AND REMOVE ONLY THOSE THAT ARE DEAD, DISEASED, OR DAMAGED BY THE DEVELOPMENT. REMOVE TREES IN PROTECTION ZONES AS A PART OF THE DEVELOPMENT. REMOVE TREES IN PROTECTION ZONES AS A PART OF THE DEVELOPMENT.
  - PROTECT EXISTING TREES ON SITE. PROTECT EXISTING TREES ON PLANT PROTECTION ZONES INDICATED ON LANDSCAPE PLAN. AS MUCH AS POSSIBLE, MAINTAIN EXISTING TREES AND REMOVE ONLY THOSE THAT ARE DEAD, DISEASED, OR DAMAGED BY THE DEVELOPMENT. REMOVE TREES IN PROTECTION ZONES AS A PART OF THE DEVELOPMENT. REMOVE TREES IN PROTECTION ZONES AS A PART OF THE DEVELOPMENT.
  - PROTECT EXISTING TREES ON SITE. PROTECT EXISTING TREES ON PLANT PROTECTION ZONES INDICATED ON LANDSCAPE PLAN. AS MUCH AS POSSIBLE, MAINTAIN EXISTING TREES AND REMOVE ONLY THOSE THAT ARE DEAD, DISEASED, OR DAMAGED BY THE DEVELOPMENT. REMOVE TREES IN PROTECTION ZONES AS A PART OF THE DEVELOPMENT. REMOVE TREES IN PROTECTION ZONES AS A PART OF THE DEVELOPMENT.
  - PROTECT EXISTING TREES ON SITE. PROTECT EXISTING TREES ON PLANT PROTECTION ZONES INDICATED ON LANDSCAPE PLAN. AS MUCH AS POSSIBLE, MAINTAIN EXISTING TREES AND REMOVE ONLY THOSE THAT ARE DEAD, DISEASED, OR DAMAGED BY THE DEVELOPMENT. REMOVE TREES IN PROTECTION ZONES AS A PART OF THE DEVELOPMENT. REMOVE TREES IN PROTECTION ZONES AS A PART OF THE DEVELOPMENT.
  - PROTECT EXISTING TREES ON SITE. PROTECT EXISTING TREES ON PLANT PROTECTION ZONES INDICATED ON LANDSCAPE PLAN. AS MUCH AS POSSIBLE, MAINTAIN EXISTING TREES AND REMOVE ONLY THOSE THAT ARE DEAD, DISEASED, OR DAMAGED BY THE DEVELOPMENT. REMOVE TREES IN PROTECTION ZONES AS A PART OF THE DEVELOPMENT. REMOVE TREES IN PROTECTION ZONES AS A PART OF THE DEVELOPMENT.
  - PROTECT EXISTING TREES ON SITE. PROTECT EXISTING TREES ON PLANT PROTECTION ZONES INDICATED ON LANDSCAPE PLAN. AS MUCH AS POSSIBLE, MAINTAIN EXISTING TREES AND REMOVE ONLY THOSE THAT ARE DEAD, DISEASED, OR DAMAGED BY THE DEVELOPMENT. REMOVE TREES IN PROTECTION ZONES AS A PART OF THE DEVELOPMENT. REMOVE TREES IN PROTECTION ZONES AS A PART OF THE DEVELOPMENT.
  - PROTECT EXISTING TREES ON SITE. PROTECT EXISTING TREES ON PLANT PROTECTION ZONES INDICATED ON LANDSCAPE PLAN. AS MUCH AS POSSIBLE, MAINTAIN EXISTING TREES AND REMOVE ONLY THOSE THAT ARE DEAD, DISEASED, OR DAMAGED BY THE DEVELOPMENT. REMOVE TREES IN PROTECTION ZONES AS A PART OF THE DEVELOPMENT. REMOVE TREES IN PROTECTION ZONES AS A PART OF THE DEVELOPMENT.

RESERVOIR NO. 1 & ENERGY RECOVERY FACILITY

## TREE MANAGEMENT PLAN



Gemella  
LANDSCAPE ARCHITECTURE  
GREEN DESIGN + PLANNING  
100-1001 101st Avenue  
Vancouver, BC V5P 1C2  
Tel: 604.271.1971  
www.gemella.com

Project: CR012  
Date: JUNE, 2012  
Drawn: JG  
Checked: JG  
Scale: NOTED  
Sheet: L-1.0

Issues & Revisions

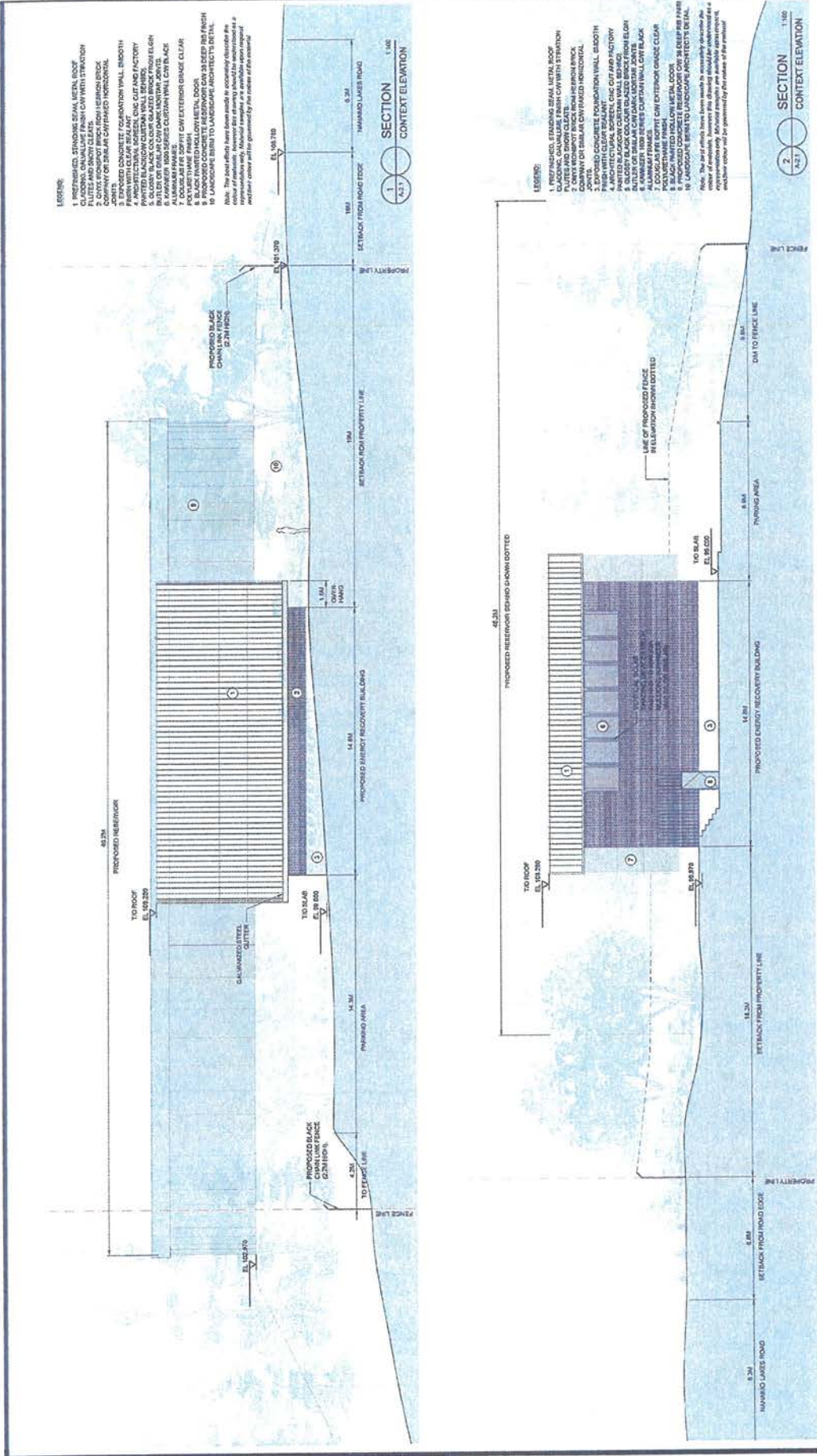
No.	Date	Details
1		ISSUE: TREE PLAN FOR REVIEW
2		REVISION: TREE PLAN FOR REVIEW
3		REVISION: TREE PLAN FOR REVIEW

Copyright Reserved. This drawing is the intellectual property of Gemella Landscape Architecture. All rights reserved. No part of this drawing may be reproduced without the prior written consent of Gemella Landscape Architecture.

Development Permit No. DP000791  
645 Wakiesah Avenue

# Schedule F Reservoir and Utility Building Elevations

This drawing is for the use of the Client and Project Engineer  
No representation is made by the Engineer or Project Engineer



NO.	DATE	ENC.	BY	REVISIONS

PROJECT No. 20112853  
DATE 11/11/2011

**Matthew Wood Arch Inc.**  
Architectural Firm  
1111 Koenig Street  
Windsor, ON N9A 6K9  
Tel: 519-253-8888  
Fax: 519-253-8889

**This is Schedule F referred to in the Development Permit.**

General Manager  
Community Safety & Development  
Date *Sept 12, 2012*

**CITY OF NANAIMO**  
NANAIMO, B.C.

**RESERVOIR No. 1 AND ENERGY RECOVERY FACILITY**

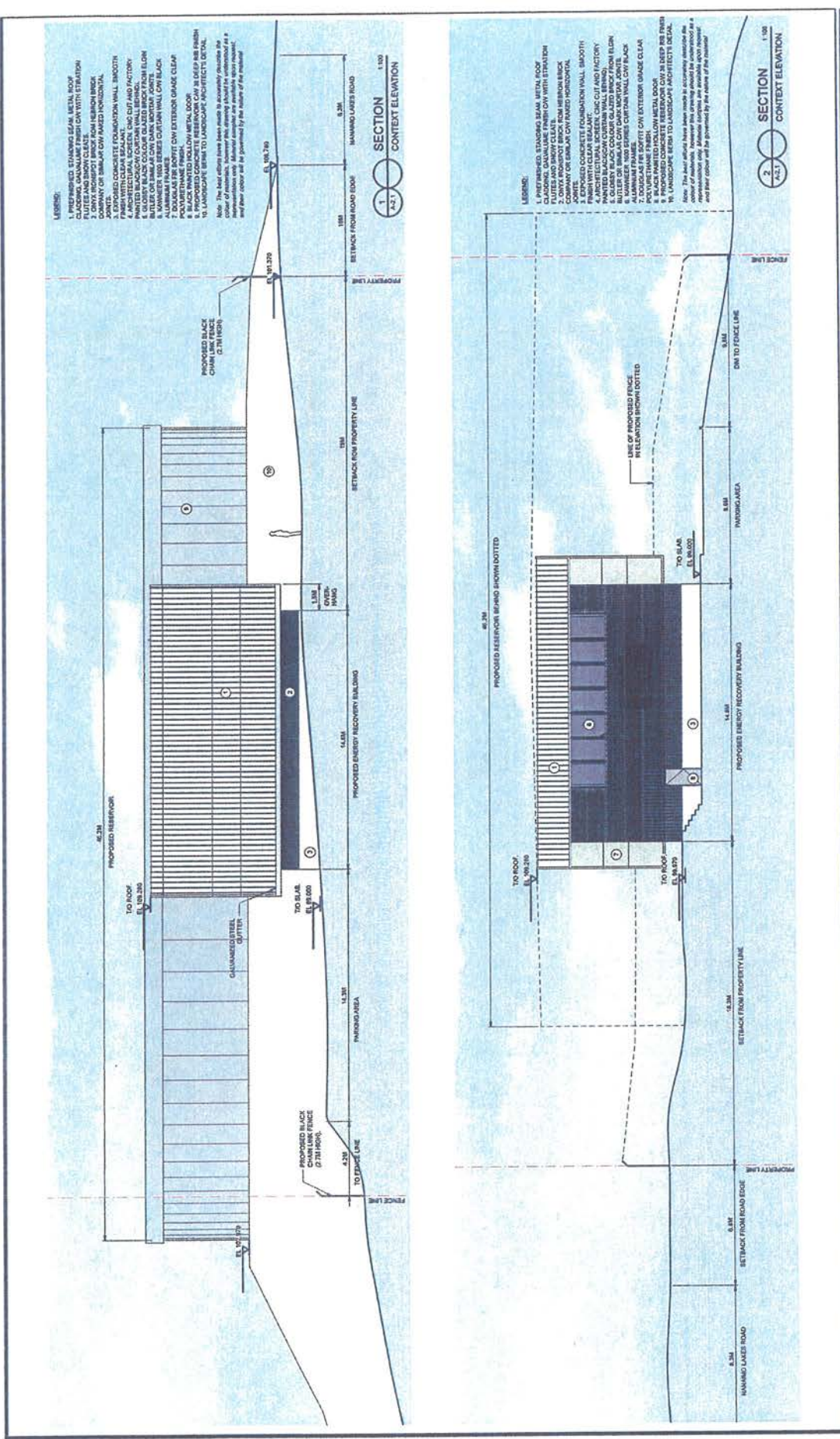
ENERGY RECOVERY FACILITY DEVELOPMENT PERMIT APPLICATION  
DRAWING NUMBER A2.1  
REV. NO. B  
SHEET 3



### Schedule G Reservoir and Utility Building Elevations

Development Permit No. DP000791  
645 Wakesiah Avenue

This Drawing is For the Use of the Client and Project only  
No Representations or Warranties are Made by the Engineer or Other Parties



REVISIONS	
NO.	DESCRIPTION
A	DATE: 11-20-11
B	DATE: 11-20-11
C	DATE: 11-20-11
D	DATE: 11-20-11
E	DATE: 11-20-11
F	DATE: 11-20-11
G	DATE: 11-20-11
H	DATE: 11-20-11
I	DATE: 11-20-11
J	DATE: 11-20-11
K	DATE: 11-20-11
L	DATE: 11-20-11
M	DATE: 11-20-11
N	DATE: 11-20-11
O	DATE: 11-20-11
P	DATE: 11-20-11
Q	DATE: 11-20-11
R	DATE: 11-20-11
S	DATE: 11-20-11
T	DATE: 11-20-11

PROJECT NO.	SCALE	DATE	DRAWING NUMBER
2012853	1:100	11/20/11	A2.1
RANK	ARCHITECT	DRAWN BY	DATE
MATTHEW WOODRUFF	ARCHITECT	MATTHEW WOODRUFF	11/20/11
APPROVED		APPROVED	
MATTHEW WOODRUFF		MATTHEW WOODRUFF	
DATE		DATE	
11/20/11		11/20/11	

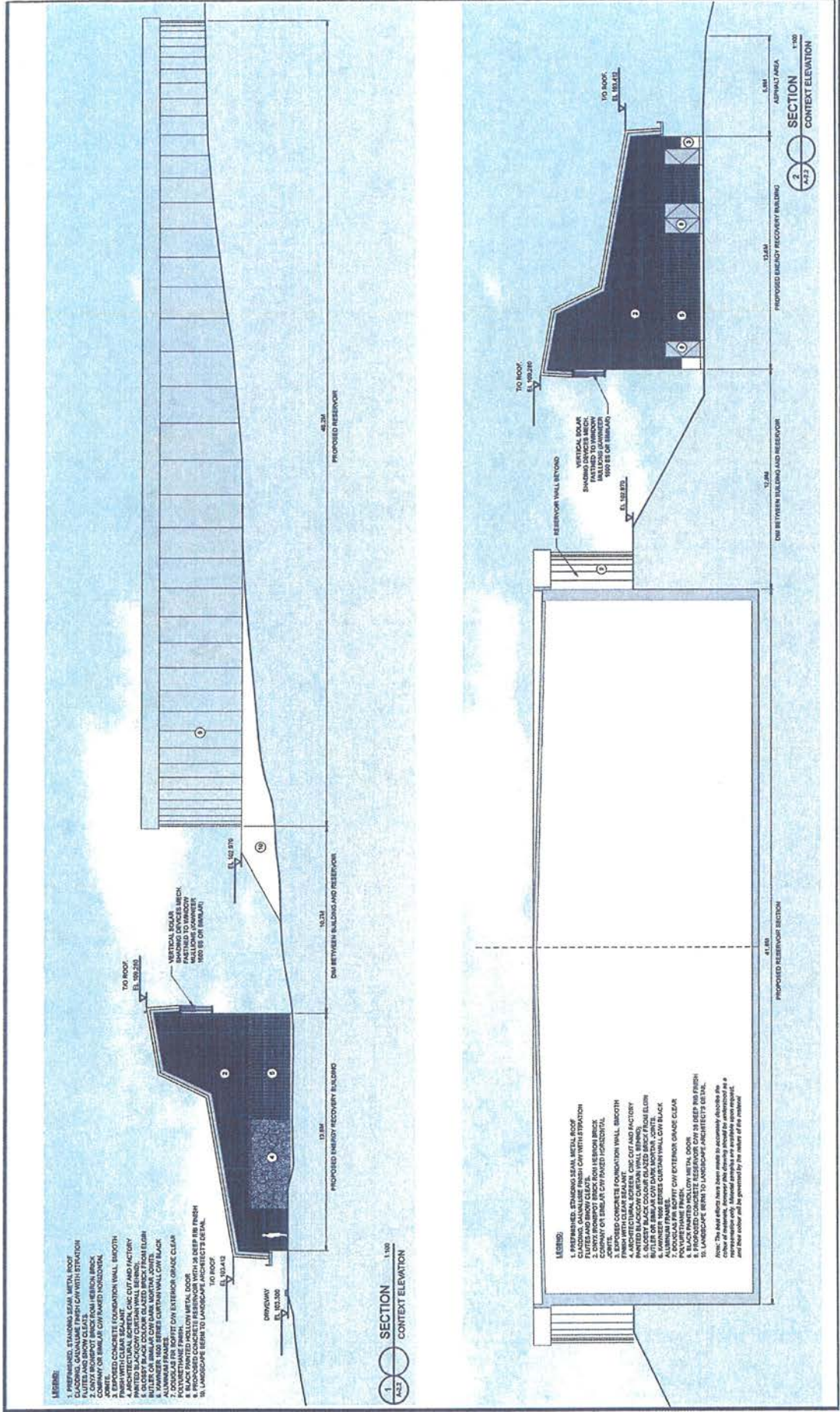
  

CITY OF NANAIMO THE HARBOR CITY	
<b>RESERVOIR No. 1 AND ENERGY RECOVERY FACILITY</b>	<b>RESERVOIR No. 1 AND ENERGY RECOVERY FACILITY</b>
ENERGY RECOVERY FACILITY DEVELOPMENT PERMIT APPLICATION	ENERGY RECOVERY FACILITY DEVELOPMENT PERMIT APPLICATION
MATTHEW WOODRUFF	MATTHEW WOODRUFF
ARCHITECT	ARCHITECT
DATE: 11/20/11	DATE: 11/20/11
SHEET B	SHEET 4
REVISIONS	REVISIONS

This is Schedule G referred to in the  
 Development Permit.  
  
 General Manager  
 Community Safety & Development  
 Date: *Sep 12, 2012*

Development Permit No. DP000791  
645 Wakesiah Avenue

Schedule H  
Utility Building Elevations  
and Reservoir Section



- LEGEND:
1. PREFINISHED STANDING SEAM METAL ROOF CLADDING, GALVALUME FINISH C/W WITH STRATTON COMPANY OR SIMILAR C/W FINISHED HORIZONTAL.
  2. GUTTER AND DOWNSPOUT BRICK (BROWN HEBRON BRICK) C/W FINISHED HORIZONTAL.
  3. EXPOSED CONCRETE FOUNDATION WALL, SMOOTH FINISH.
  4. ARCHITECTURAL SCREENING C/W CUT AND FACTORY FINISHED BLACK/WHITE CURTAIN WALL BEHIND BRICK OR BRICK AS C/W DARK MORTAR JOINTS.
  5. DOUBLE GLAZED ROOF C/W EXTERIOR GRADE CLEAR GLASS.
  6. BLACK PAINTED YELLOW METAL DOOR.
  7. LANDSCAPE BERM TO LANDSCAPE ARCHITECTURAL.

- LEGEND:
1. PREFINISHED STANDING SEAM METAL ROOF CLADDING, GALVALUME FINISH C/W WITH STRATTON COMPANY OR SIMILAR C/W FINISHED HORIZONTAL.
  2. GUTTER AND DOWNSPOUT BRICK (BROWN HEBRON BRICK) C/W FINISHED HORIZONTAL.
  3. EXPOSED CONCRETE FOUNDATION WALL, SMOOTH FINISH.
  4. ARCHITECTURAL SCREENING C/W CUT AND FACTORY FINISHED BLACK/WHITE CURTAIN WALL BEHIND BRICK OR BRICK AS C/W DARK MORTAR JOINTS.
  5. DOUBLE GLAZED ROOF C/W EXTERIOR GRADE CLEAR GLASS.
  6. BLACK PAINTED YELLOW METAL DOOR.
  7. LANDSCAPE BERM TO LANDSCAPE ARCHITECTURAL.

NO.	DATE	ENG.	BY	SUBJECT	REVISIONS
1					
2					
3					
4					

PROJECT No.	20112803
DATE	11/00
DESIGNED BY	JAYNE POWER
CHECKED BY	MATTHEW WOODGULF
DATE	11/00
SCALE	AS SHOWN ON DRAWINGS
PROJECT	RESERVOIR No. 1 AND ENERGY RECOVERY FACILITY
DRAWING NUMBER	A.2.2
REV. NO.	B
SHEET	4
TOTAL SHEETS	4

PROJECT No.	20112803
DATE	11/00
DESIGNED BY	JAYNE POWER
CHECKED BY	MATTHEW WOODGULF
DATE	11/00
SCALE	AS SHOWN ON DRAWINGS
PROJECT	RESERVOIR No. 1 AND ENERGY RECOVERY FACILITY
DRAWING NUMBER	A.2.2
REV. NO.	B
SHEET	4
TOTAL SHEETS	4



Matthew KOEBS & ASSOCIATES  
 This is Schedule H referred to in the Development Permit.  
 General Manager  
 Community Safety & Development  
 Date: Sept 12, 2012

This Drawing is For the Use of The Client and Project Institute. No Responsibility for Any Kind and Project Institute.